

PROJECT BY



ROYAL ARCADE

The New Age
Shopping Centre
and **Office Complex**



ROYAL
ARCADE





Artistic Impression



Royal Arcade is ideally suited for:

All kinds of Showrooms

Shops

Offices

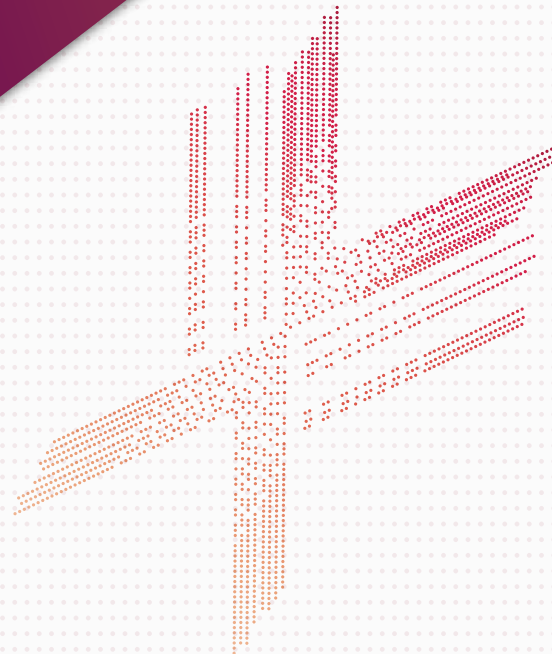
Banks

Restaurants

Gym

Spa

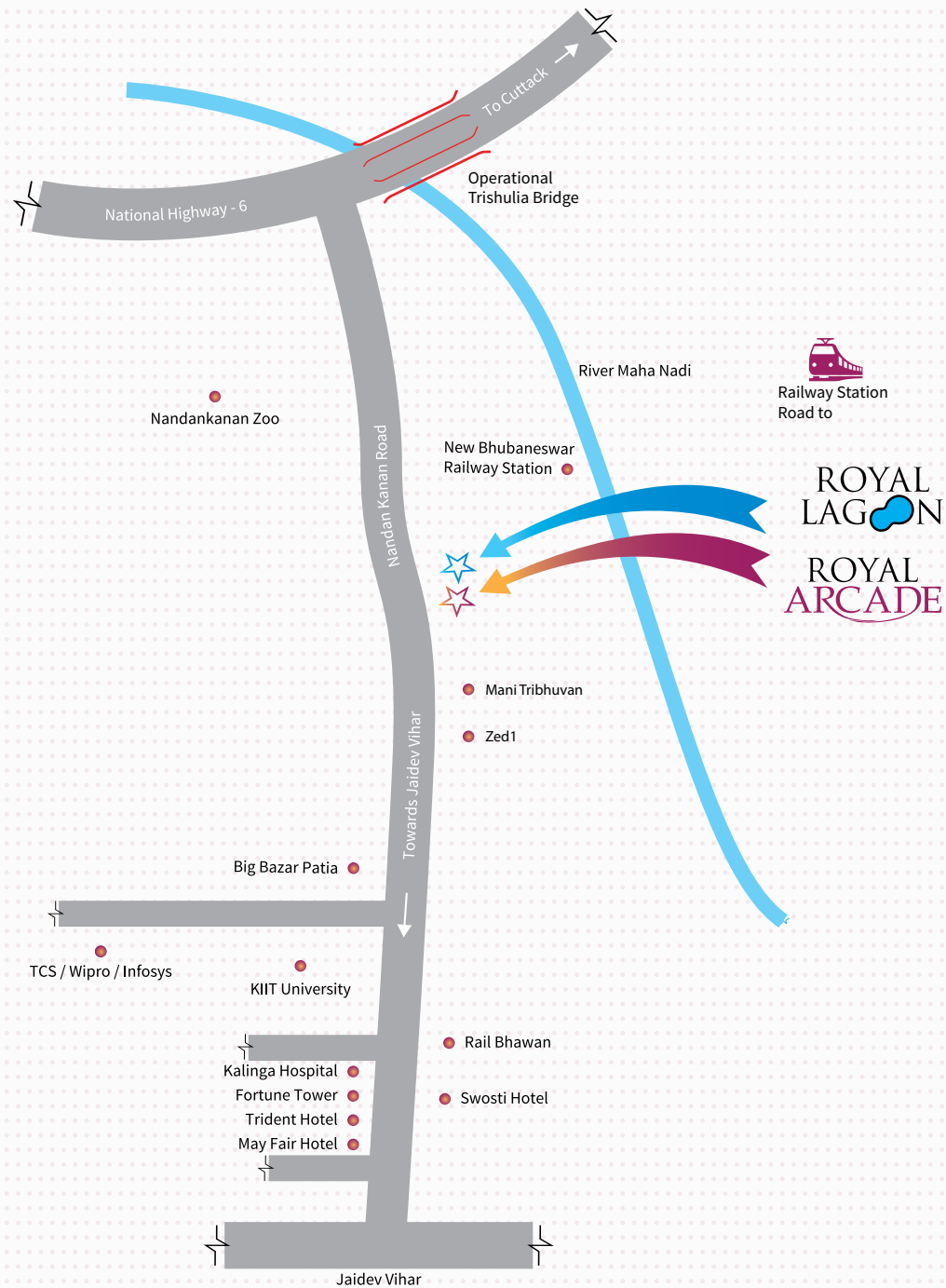
Saloon



DISTANCES FROM ROYAL ARCADE

BIG BAZAAR	1.5 KMS
NANDANKANAN ZOO	1.5 KMS
KIITS (DEEMED UNIVERSITY)	2 KMS
KIITS INT. SCHOOL	2.5 KMS
KIMS HOSPITAL	2.5 KMS
SAI INT. SCHOOL	3 KMS
INFOCITY	3 KMS
DAV SCHOOL	4 KMS
KALINGA HOSPITAL	5 KMS
FORTUNE TOWER	6 KMS
APOLLO HOSPITAL	6 KMS
MAY FAIR HOTEL	7 KMS
JAIDEV VIHAR	10 KMS
AIRPORT	12 KMS

Approximate Distances



Map not to scale, indicative only

The catchment area is high-income.

Royal Arcade is located right next to **Royal Lagoon**, and in the vicinity of several large residential complexes ensuring a captive base of **High-Income Households**. There are more than **2500 New Homes** coming up in and around Nandankanan Road and Patia. So with more than **15,000 People** with high purchasing power in the vicinity. Bhubaneswar new Railway Station is coming up at a short distance, behind Royal Arcade, in future it may cater to Large number of travellers in and out of Bhubaneswar. Nandankanan Road is now preferred route to travel from Bhubaneswar to Cuttack. Royal Arcade is a **Perfect investment destination**.



Royal Arcade is about intelligent design.

- Plush entrance lobby with premium cladding
- Wide open layout
- Wide frontage for shops
- Spaced-out atrium
- Power backup*

Escalator from ground floor to
third floor will draw and
disperse footfall throughout
the retail space...

...and speedy lifts will help your
business reach new heights.

Futuristic offices





Artistic Impression

Royal Arcade. The difference
is also Cost-effectiveness.



Individual AC outdoor units give you the flexibility of planning your own air-conditioning, without getting tied down into expensive monthly maintenance of centralized air-conditioning.

Yet you have everything you need:

- Efficient Housekeeping
- 24 hours security
- Basement parking
- Electro mechanical equipment upkeep
- In-house maintenance

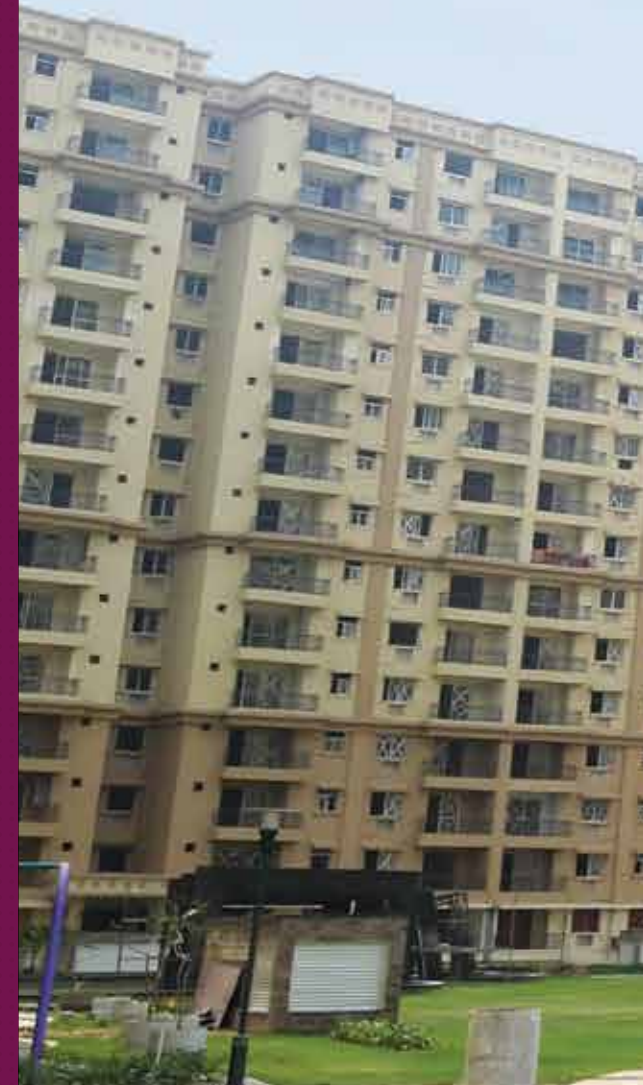




Royal Lagoon — a modern lifestyle residential complex has set a new benchmark in Bhubaneswar.

Royal Lagoon is about open spaces, beautiful landscaping
and an awesome range of modern features.

PROJECT BY





Royal Lagoon Phase-1 Actual Site Image



Royal Arcade is a project of SJ Developers and Ashiana Homes

Both have a proven track
record of **QUALITY** of
PRODUCT, SAFETY of
INVESTMENT and
INTEGRITY of
COMMITMENT.

Established in 2003, **SJ Developers** has carved a niche for itself as being a premium quality and customer centric developer engaged in up market residential projects,

With its core team drawn from professional background they have been the pioneers in introducing innovative features and benefits in the Odisha real estate sector. What differentiates SJ is the management's unrelenting focus on details and uncompromising adherence to quality execution. At-SJ, "We Care."

Key projects of SJ Developers are:

- Royal Lagoon
- Royal Heritage
- Royal Heights
- Royal Residency
- Royal Habitat
- Royal Garden
- Royal Tower
- Royal Elegance

For more information about SJ Developers, please visit
www.sjdevelopers.com

Ashiana Homes has completed over 30 glorious years in the housing development sector.

It has established its reputation as a real estate developer that provides Quality of Construction, Safety of Investment and Integrity of Commitment. It has built over 34 lacs sq.ft. of residential and commercial space and has put a smile on the faces of more than 4,200 families.

Ashiana's existing portfolio of real estate projects is made up of best-in-class developments in modern condominiums,

Some of Ashiana's completed residential projects include:

- Royal Lagoon, Phase-1, Bhubaneswar
- Ashiana Palm Court, Ghaziabad
- Ashiana Upvan, Indirapuram
- Ashiana Orchids, Greater Noida
- Classic Personal Floors, Gurgaon
- Villa Anandam, Ghaziabad
- Ashiana Le Residency, Ghaziabad
- Ashiana Greens, Indirapuram
- Black Gold Apt., Greater Noida
- Ashiana Silver Crest, Gurgaon

Ongoing projects of Ashiana are

- Royal Lagoon, Phase-II, Bhubaneswar
- Ashiana Greens, Jaipur
- The Center Court, Gurgaon
- Ashiana Mulberry, Sohna, South Gurgaon

For more information about Ashiana Homes, please visit
www.ashinahomes.com



ROYAL LAGOON PH1



ROYAL HEIGHT



ASHIANA UPVAN, INDIRAPURAM



ASHIANA GREENS, INDIRAPURAM



ASHIANA PALM COURT, GHAZIABAD



ROYAL HABITAT



ROYAL TOWER



ASHIANA LE RESIDENCY, NH-24, GHAZIABAD



VILLA ANANDAM, GHAZIABAD



ASHIANA ORCHIDS, GREATER NOIDA



ROYAL HERITAGE



ROYAL RESIDENCY, SAMBALPUR
(A VENTURE WITH KOSHAL BUILDERS)



BLACK GOLD APT, GREATER NOIDA



CLASSIC PERSONAL FLOOR, GURGAON



ASHIANA SILVER CREST, GURGAON



ROYAL GARDEN



ROYAL ELEGANCE



ROYAL LAGOON, BHUBANESWAR



ASHIANA GREENS, PHASE-1, JAIPUR



THE CENTER COURT PHASE-1, GURGAON



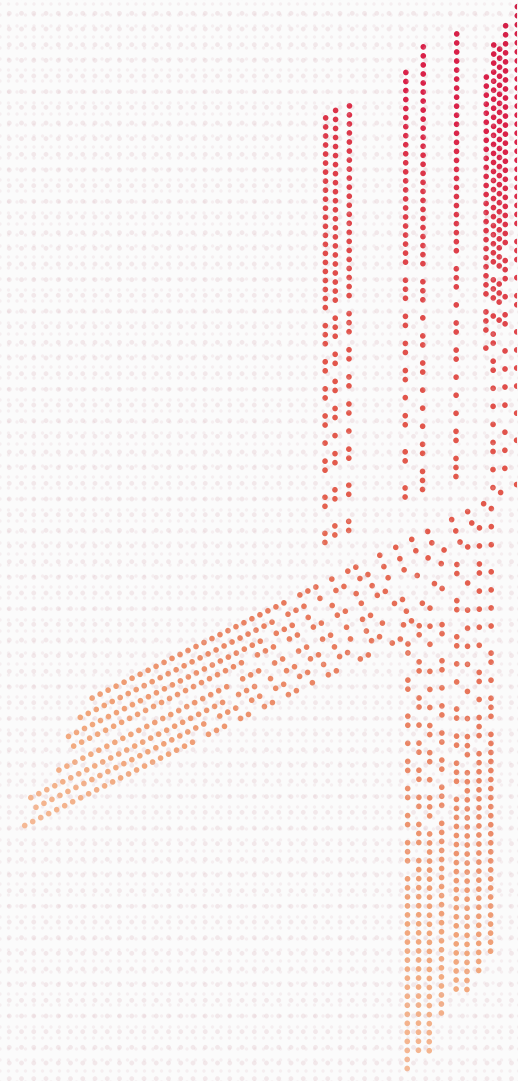
ASHIANA MULBERRY PHASE-1, SOHNA, SOUTH GURGAON



PROJECT BY



Floor Plans and Specifications



Amenities & Specification for Royal Arcade, Bhubaneswar

Common Area Specifications

Structure		Earth Quake Resistant. RCC Framed structure designed for Seismic Zone -3
Flooring		Vitrified tiles flooring.
Common Toilets	Flooring & Walls	Vitrified / Ceramic Tiles
	Sanitaryware	Vitreous Ceramic Sanitaryware
Exterior Elevation		Combination of External Grade Texture Paint alongwith Stone/ Aluminum Composite Panel Cladding/Jali.
Power Backup		Power Back up as required shall be provided in Common Area. Monthly recurring charges for common area power back up shall be borne proportionately by all the allottee.
Escalator	Ground, First, Second & Third Floor	An escalator shall be provided for upward movement from Ground Floor to Third Floor
Lifts		1 No. lift shall be provided for Ground Floor to Third Floor movement
		2 No. lift shall be provided from Basement floor to the top floor movement
		1 No. lift shall be provided for the movement of goods & service personal from Basement floor to the top floor.

Unit Area Specifications for Ground, 1st, 2nd & 3rd Floor

Flooring	Bare Concrete Floor
Walls	Plain Cement Plaster
Shop Entrance	Rolling shutter with designated space for signage on the top
Air-conditioning (provisioning for placing split air-conditioning outdoor unit only)	Location for placing 2 no outdoor unit of 2 Ton (max.) shall be provided. AC Unit shall have to be provided and installed at designated location by Allottee at his own cost.
Height	Floor Slab to Floor Slab height shall be 3800 mm.
Power Backup # (DG Power)	5 KW Power Backup provision shall be given at extra cost. Monthly recurring charges towards operation of Power Backup shall be charged extra.
Grid Power #	Provision for 6 KW Electrical Load shall be made in each Unit. Electrical Load sanction, Supply and Meter Connection Charges shall be charged extra.
Electrical Point	Provision for Single point electrical connection upto the distribution board only shall be made. Electrification inside the unit shall be done by allottee at his own cost.
Water / Drainage & Sewage	Provision for water supply point, drainage shall be given in the shaft attached with the unit.

Unit Area Specifications for 4th, 5th & 6th Floor

Flooring	Bare Concrete Floor
Walls	Plain Cement Plaster
Entrance	Flush Door Shutter
Air-conditioning (provisioning for placing split air-conditioning outdoor unit only)	Location for placing 2 No outdoor unit of 2 Ton (max.) shall be provided. AC Unit shall have to be provided and installed at designated location by Allottee at his own cost.
Height	Floor Slab to Floor Slab height shall be 3200 mm.
Power Backup # (DG Power)	3 KW Power Backup provision shall be given at extra cost. Monthly recurring charges towards operation of Power Backup shall be charged extra.
Grid Power #	Provision for 5 KW Electrical Load shall be made in each Unit. Electrical Load Sanction, Supply and Meter Connection Charges shall be charged extra.
Electrical Point	Provision for Single point electrical connection upto the distribution board only shall be made. Electrification inside the unit shall be done by allottee at his own cost.
Water / Drainage & Sewage	Provision for water supply point, drainage shall be given in the shaft attached with the unit.

Based on suitable diversity factor as allowed by the State Electricity Regulations

SITE PLAN



Disclaimer :

- Layout plan is subject to change by Architect or any other Competent Authority as per Rules & Regulations.
- This plan is indicative only, Please refer to the Agreement to sale for details.
- Development work of external proposed road outside the project land is not in the developer's scope of development.
- 1 Sq. mtr. = 10.76 sq. ft.

GROUND FLOOR PLAN



Disclaimer :

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FIRST FLOOR PLAN



Unit No.	Dimension		Carpet Area		Super Built Up Area	
	mm	feet	sqm.	sft.	sqm.	sft.
101	4000x10400	13'-1" x 34'-1"	42.48	455.34	75.88	816
102	3850x10400	12'-8" x 34'-1"	39.11	420.84	73.34	789
103	3850x10400	12'-8" x 34'-1"	39.11	420.84	73.34	789
104	3850x10400	12'-8" x 34'-1"	39.11	420.84	73.34	789
105	3850x10400	12'-8" x 34'-1"	39.11	420.84	73.34	789
106	3850x10400	12'-8" x 34'-1"	39.11	420.84	73.34	789
107A	3850x10400	12'-8" x 34'-1"	39.11	420.84	73.34	789
107B	3850x10400	12'-8" x 34'-1"	39.11	420.84	73.34	789
110	3850x10400	12'-8" x 34'-1"	39.11	420.84	73.34	789
111	3850x10400	12'-8" x 34'-1"	39.11	420.84	73.34	789
112	3850x10400	12'-8" x 34'-1"	39.11	420.84	73.34	789
113	3850x10400	12'-8" x 34'-1"	39.11	420.84	73.34	789
114	3850x10400	12'-8" x 34'-1"	39.11	420.84	73.34	789
115	3850x10400	12'-8" x 34'-1"	39.11	420.84	73.34	789
116	3850x10400	12'-8" x 34'-1"	39.11	420.84	73.34	789
117	3850x10400	12'-8" x 34'-1"	39.11	420.84	73.34	789
118	3850x10400	12'-8" x 34'-1"	39.11	420.84	73.34	789
120B	3850x10400	12'-8" x 34'-1"	39.11	420.84	73.34	789
121	3850x10400	12'-8" x 34'-1"	39.11	420.84	73.34	789
122	3850x10400	12'-8" x 34'-1"	39.11	420.84	73.34	789
123	3850x10400	12'-8" x 34'-1"	39.11	420.84	73.34	789
124	3850x10400	12'-8" x 34'-1"	39.11	420.84	73.34	789
125	3850x10400	12'-8" x 34'-1"	39.11	420.84	73.34	789
126	3850x10400	12'-8" x 34'-1"	39.11	420.84	73.34	789
127	3850x10400	12'-8" x 34'-1"	39.11	420.84	73.34	789
128	3850x10400	12'-8" x 34'-1"	39.11	420.84	73.34	789
129	3850x10400	12'-8" x 34'-1"	39.11	420.84	73.34	789
130	4000x10400	13'-1" x 34'-1"	42.48	455.34	75.88	816

LOCATION FOR PLACING A/C OUT DOOR UNIT
PLUMBING PIPES

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SECOND FLOOR PLAN



Unit No.	Dimension		Carpet Area		Super Built Up Area	
	mm	feet	sqm.	sft.	sqm.	sft.
201	3850x10400	12'-6"x34'-1"	39.11	420.84	73.84	789
202	3850x10400	12'-6"x34'-1"	39.11	420.84	73.84	789
203	3850x10400	12'-6"x34'-1"	39.11	420.84	73.84	789
204	3850x10400	12'-6"x34'-1"	39.11	420.84	73.84	789
205	3850x10400	12'-6"x34'-1"	39.11	420.84	73.84	789
206	3850x5950	12'-6"x20'-2"	11.28	147.32	60.55	651
207A	3010x8595	11'-6"x28'-2"	28.41	316.44	55.26	594
207B	void area		44.08	474.02	82.25	885
209	4250x6800	14'-0"x22'-4"	38.21	412.59	52.90	569
210	void area		32.00	344.37	60.06	646
211	3850x8800	12'-6"x27'-2"	36.84	396.27	69.09	743
212	3850x12125	12'-6"x39'-8"	45.65	491.17	85.56	920
213	3850x12125	12'-6"x39'-8"	45.65	491.17	85.56	920
214	4820x12125	15'-10"x39'-8"	57.52	618.62	107.49	1154
215	3850x12125	12'-6"x39'-8"	45.65	491.17	85.56	920
216	3850x12125	12'-6"x39'-8"	45.65	491.17	85.56	920
217	3850x12125	12'-6"x39'-8"	45.65	491.17	85.56	920
218	3850x12125	12'-6"x39'-8"	45.65	491.17	85.56	920
219	3850x6800	12'-6"x22'-2"	37.01	396.18	69.42	747
220B	3836x5795	12'-7"x18'-0"	21.46	230.89	40.33	434
221	void area		24.08	258.56	45.94	488
222	4288x8525	14'-1"x28'-0"	35.79	384.45	66.92	720
223	4288x8525	14'-1"x28'-0"	35.79	384.45	66.92	720
224	4288x8525	14'-1"x28'-0"	35.79	384.45	66.92	720
225	4388x10400	14'-3"x34'-1"	43.65	468.66	81.71	879
226	4388x10400	14'-3"x34'-1"	43.65	468.66	81.71	879
227	4388x10400	14'-3"x34'-1"	43.65	468.66	81.71	879
228	void area		305.72	3307.56	196.60	2126
229	3850x10400	12'-6"x34'-1"	39.11	420.84	73.84	789
230	3850x10400	12'-6"x34'-1"	39.11	420.84	73.84	789
231	3850x10400	12'-6"x34'-1"	39.11	420.84	73.84	789
232	3850x10400	12'-6"x34'-1"	39.11	420.84	73.84	789

LOCATION FOR PLACING A/C OUT DOOR UNIT
PLUMBING PIPES

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THIRD FLOOR PLAN



Unit No.	Dimension		Carpet Area		Super Built Up Area	
	mm	feet	sqm.	sft.	sqm.	sft.
301	3850x10400	12'-6"x34'-1"	39.11	420.84	73.34	789
302	3850x10400	12'-6"x34'-1"	39.11	420.84	73.34	789
303	3850x10400	12'-6"x34'-1"	39.11	420.84	73.34	789
304	3850x10400	12'-6"x34'-1"	39.11	420.84	73.34	789
305	3850x10400	12'-6"x34'-1"	39.11	420.84	73.34	789
306	3850x8595	12'-6"x28'-2"	32.28	347.32	60.55	651
307A	3515x8595	11'-6"x28'-2"	29.41	316.44	55.26	594
307B	odd size		44.05	474.02	82.25	885
309	4255x6800	14'-0"x22'-4"	28.21	303.39	52.90	569
310	odd size		32.00	344.37	60.08	646
311	3850x9600	12'-6"x32'-2"	36.84	396.37	69.09	743
312	3850x12125	12'-6"x39'-9"	45.65	491.17	85.56	920
313	3850x12125	12'-6"x39'-9"	45.65	491.17	85.56	920
314	4820x12125	15'-10"x39'-9"	57.52	618.92	107.48	1156
315	3850x12125	12'-6"x39'-9"	45.65	491.17	85.56	920
316	3850x12125	12'-6"x39'-9"	45.65	491.17	85.56	920
317	3850x12125	12'-6"x39'-9"	45.65	491.17	85.56	920
318	3850x12125	12'-6"x39'-9"	45.65	491.17	85.56	920
319	3850x9600	12'-6"x32'-2"	37.03	398.18	68.42	747
320	3855x5785	12'-7"x19'-0"	21.46	230.89	40.39	434
321	odd size		24.03	258.56	45.34	488
322	4288x8525	14'-1"x28'-0"	35.73	384.45	66.92	720
323	4288x8525	14'-1"x28'-0"	35.73	384.45	66.92	720
324	4288x8525	14'-1"x28'-0"	35.73	384.45	66.92	720
325	4288x10400	14'-1"x34'-1"	43.65	468.66	81.71	879
326	4288x10400	14'-1"x34'-1"	43.65	468.66	81.71	879
327	4288x10400	14'-1"x34'-1"	43.65	468.66	81.71	879
328	odd size		205.72	2217.56	296.66	3216
329	3850x10400	12'-6"x34'-1"	39.11	420.84	73.34	789
330	3850x10400	12'-6"x34'-1"	39.11	420.84	73.34	789
331	3850x10400	12'-6"x34'-1"	39.11	420.84	73.34	789
332	3850x10400	12'-6"x34'-1"	39.11	420.84	73.34	789

LOCATION FOR PLACING A/C OUT DOOR UNIT
PLUMBING PIPES

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FOURTH FLOOR PLAN



Unit No.	Dimension		Carpet Area		Super Built Up Area	
	mm	feet	sqm.	sqft.	sqm.	sqft.
401	3850 x 10725	12'-6" x 35'-2"	40.23	432.84	63.31	681
402	3850 x 10725	12'-6" x 35'-2"	40.23	432.84	63.31	681
403	3850 x 10725	12'-6" x 35'-2"	40.23	432.84	63.31	681
404	3850 x 10725	12'-6" x 35'-2"	40.23	432.84	63.31	681
405	3850 x 10725	12'-6" x 35'-2"	40.23	432.84	63.31	681
406	3850 x 10725	12'-6" x 35'-2"	40.23	432.84	63.31	681
407	odd size		76.72	828.46	119.75	1288
408/409	odd size		66.50	719.89	104.63	1125
410	odd size		39.34	421.15	61.60	663
411	odd size		46.51	500.81	73.18	787
412	3850 x 12675	12'-6" x 41'-7"	47.62	512.39	74.87	806
413	3850 x 12675	12'-6" x 41'-7"	47.62	512.39	74.87	806
414	4025 x 12675	13'-3" x 41'-7"	58.52	630.38	93.29	1004
415	3850 x 12675	12'-6" x 41'-7"	47.62	512.39	74.87	806
416	3850 x 12675	12'-6" x 41'-7"	47.62	512.39	74.87	806
417	3850 x 12675	12'-6" x 41'-7"	47.62	512.39	74.87	806
418	3850 x 12675	12'-6" x 41'-7"	47.62	512.39	74.87	806
419	3850 x 12675	12'-6" x 41'-7"	47.62	512.39	74.87	806
420	odd size		62.44	671.84	97.64	1055
421/422	7385 x 8775	24'-3" x 28'-9"	62.02	670.99	98.36	1066
423	4085 x 8775	14'-1" x 28'-9"	36.42	394.00	57.60	619
424	odd size		43.01	462.16	67.64	727
425	4387 x 12380	14'-5" x 40'-4"	51.76	556.97	81.27	874
426	4387 x 12380	14'-5" x 40'-4"	51.76	556.97	81.27	874
427	4387 x 12380	14'-5" x 40'-4"	51.76	556.97	81.27	874
428	odd size		136.44	1466.77	209.00	2258
429	3850 x 10725	12'-6" x 35'-2"	40.23	432.84	63.31	681
430	3850 x 10725	12'-6" x 35'-2"	40.23	432.84	63.31	681
431	3850 x 10725	12'-6" x 35'-2"	40.23	432.84	63.31	681
432	3850 x 10725	12'-6" x 35'-2"	40.23	432.84	63.31	681

LOCATION FOR PLACING A/C OUT DOOR UNIT
PLUMBING PIPES

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FIFTH FLOOR PLAN



Unit No.	Dimension		Carpet Area		Super Built Up Area	
	mm	feet	sqm.	sft.	sqm.	sft.
501	3850 X 10725	12'-8" X 35'-3"	40.23	432.84	63.31	681
502	3850 X 10725	12'-8" X 35'-3"	40.23	432.84	63.31	681
503	3850 X 10725	12'-8" X 35'-3"	40.23	432.84	63.31	681
504	3850 X 10725	12'-8" X 35'-3"	40.23	432.84	63.31	681
505	3850 X 10725	12'-8" X 35'-3"	40.23	432.84	63.31	681
506	odd size		39.00	419.04	57.99	624
507	odd size		76.72	829.86	119.75	1288
508/509	odd size		56.80	609.89	106.63	1145
510	odd size		39.14	421.55	61.60	663
511	odd size		46.58	500.83	73.18	787
512	3850 X 12625	12'-8" X 41'-3"	47.82	512.39	74.87	805
513	3850 X 12625	12'-8" X 41'-3"	47.55	511.68	74.77	804
514	4820 X 12625	15'-10" X 41'-3"	59.52	640.38	93.29	1004
515	3850 X 12625	12'-8" X 41'-3"	47.82	512.39	74.87	805
516	3850 X 12625	12'-8" X 41'-3"	47.62	512.39	74.87	805
517	3850 X 12625	12'-8" X 41'-3"	47.62	512.39	74.87	805
518	3850 X 12625	12'-8" X 41'-3"	47.62	512.39	74.87	805
519	3850 X 12625	12'-8" X 41'-3"	47.82	512.39	74.87	805
520	odd size		62.46	671.84	97.64	1056
521/522	7395 X 8775	24'-3" X 28'-5"	67.67	729.95	98.56	1058
523	4280 X 8775	14'-0" X 28'-5"	36.62	394.00	67.60	727
524	odd size		43.04	463.56	67.64	727
525	4287 X 12350	14'-0" X 40'-6"	55.76	596.97	81.27	874
526	4287 X 12350	14'-0" X 40'-6"	55.76	596.97	81.27	874
527	4287 X 12350	14'-0" X 40'-6"	55.76	596.97	81.27	874
528	odd size		106.44	1146.77	189.00	2038
529	3850 X 10725	12'-8" X 35'-3"	40.23	432.84	63.31	681
530	3850 X 10725	12'-8" X 35'-3"	40.23	432.84	63.31	681
531	3850 X 10725	12'-8" X 35'-3"	40.23	432.84	63.31	681
532	3850 X 10725	12'-8" X 35'-3"	40.23	432.84	63.31	681

LOCATION FOR PLACING
A/C OUT DOOR UNIT
PLUMBING PIPES

Disclaimer :

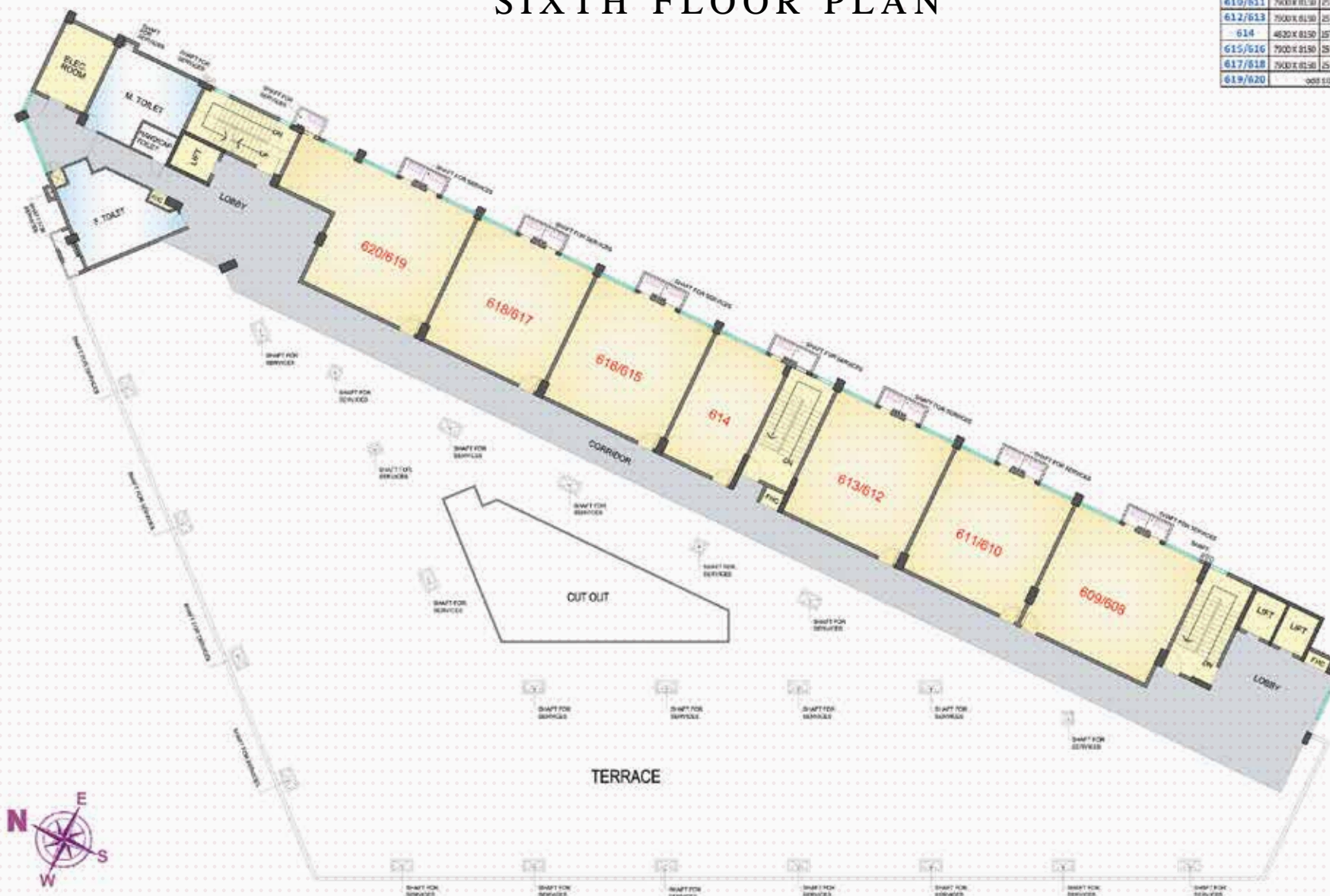
- The Internal Dimensions shown are from unplastered wall to wall (before plaster) as per Architectural & Structural construction drawings.
- The Carpet Area calculation is as per RERA definition and after deduction of area under plaster & skirting of External walls.
- Plumbing pipes shown in the shafts is indicative only and may or may not change.

- Layout plan is subject to change by Architect or any other Competent Authority as per Rules & Regulations.
- The plan is indicative only, Please refer to the Agreement to sale for details.
- A.C outdoor units shown here is to convey the earmarking of location only. No A.C units shall be provided by developer.
- 1 Sq. mtr. = 10.76 sq. ft.

SIXTH FLOOR PLAN

Unit No.	Dimension		Carpet Area		Super Built Up Area	
	mm	feet	sqm.	sqft.	sqm.	sqft.
608/609	8760 X 8130	28' 9" X 26' 9"	49.80	765.43	106.29	1146
610/611	7900 X 8130	25' 11" X 26' 9"	43.08	671.72	96.64	1043
612/613	7900 X 8130	25' 11" X 26' 9"	43.04	670.88	96.56	1040
614	4630 X 8130	15' 10" X 26' 9"	38.04	409.33	59.78	643
615/616	7900 X 8130	25' 11" X 26' 9"	43.12	675.14	96.68	1042
617/618	7900 X 8130	25' 11" X 26' 9"	43.12	675.14	96.68	1042
619/620	8850 X 8130	29' 1" X 26' 9"	76.61	824.90	119.87	1290

LOCATION FOR PLACING A/C OUT DOOR UNIT
PLUMBING PIPES



Disclaimer :

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- The Carpet Area calculation is as per RERA definition and after deduction of area under plaster & skirting of External walls.
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- The plan is indicative only, Please refer to the Agreement to sale for details.
- A.C outdoor units shown here is to convey the earmarking of location only. No A.C units shall be provided by developer.
- 1 Sq. mtr. = 10.76 sq. ft.

Disclaimers for Specifications & Features for Natural Materials (Wooden elements / Stone elements)

1. **Door Frames :** Door frames are made of solid hard wood. Solid hard wood, being a natural material will vary in texture, knots and would have seasonal behavior depending on the ambient temperature. Expansion and contraction is inherent to hard wood and may lead to minor surface cracks.
2. **Granite/ Marble/ Sandstone :** Granite/ Marble / Sandstone being natural material will vary in texture and colour. Over a period of time discoloration can happen. Stone being porous in nature will absorb fluid if any fluid spillage is not removed quickly. Stone may develop crack on impact with heavy equipment, sharp object etc. Polishing on the stone is done using artificial polishing agents and shall wear off due to usage in due course of time. It requires regular proper maintenance for maintaining polish.
3. **Wall and Ceiling Cracks:** Due to large temperature variance between summer months and winter months expansions and contraction takes place in concrete and brick work. Due to such movements, sometimes surface cracks would appear in the walls at the junction of RCC members and Brick masonry. Such cracks could appear despite taking all engineering precautions.

As per structural design principles, structures are allowed to deflect in different allowable loading/atmospheric/ground settlement/seismic parameters. Since masonry and RCC members behaves differently in such situations, therefore hair cracks in different components of the building are inevitable. These cracks are more visible in plastered surface of the masonry work. While conventionally recognized precautionary measures will be undertaken diligently but complete disappearance of such cracks cannot be ascertained
4. **Normal wear & tear:** Equipments and products within the Commercial Unit and /or within the Complex will face natural wear and tear over a period of time due to usage. If such usage is more than what is prescribed by the manufacturer/ vendor of such products, then the rate of deterioration/ degeneration would be faster. The Developer is not a manufacturer of such products directly and hence depends on the warranty provided by the manufacturer/ vendor of such products. The warranty on all such products/ equipments/ materials shall be the warranty provided by the original equipment manufacturer only.
5. **Vitrified tiles and Ceramic Tiles :** Tiles are sourced from the tile manufacturing Companies of national repute. Tiles consist of, among other things, natural sand, silica and soil. Colouring agents are used for providing different colours, shades and patterns to the tiles. Variation in colour is inherent in the tile making process. Tiles are 8-10 mm thick and can develop cracks upon impact with heavy or sharp objects.
6. **Door Shutters :** Door shutters are hollow core door shutters. The frame of the shutter is made of hard wood such as rubber wood, Canadian pine or similar. The central part of the frame is filled with either tubular board made of compacted wood particles of medium density or pieces of wood. Thereafter, the top moulded skin is pasted in a factory process. The shutters will have a tendency to bulge if water seeps inside and can crack on heavy impact which may happen due to a forceful banging of the shutter or if proper door stopper is not used.
7. **Wall :** Wall surface above the false ceiling may be left in its original bare condition.
8. **External Paints :** External plastered surface of the buildings are painted with suitable quality as decided by the Architects. Paints are manufactured from chemicals and specific grade of minerals/natural stone product. After application this paint is exposed to weatheric conditions. Ultra violet ray and weatheric conditions will affect life and sheen of the product and also would cause damages to the expected/designed protective properties of paints. Therefore, periodic maintenance including redoing of paints would be inevitable.
9. **Air Conditioning System :** Provision for fixing of window/split air conditioner in Commercial Unit is being provided. For Split A/C assigned spaces are earmarked on the elevation of the building for ease of access and to create uniformity for aesthetic purpose.
10. **Glass :** Glass, plain/clear/frosted - is widely used in commercial developments and may break/shatter due to accidental knocks or other causes. In addition, glass is a manufactured material and the Purchaser may wish to note that it may not be 100% free from impurities. These impurities are not avoidable with quality checks and balances.
11. **Design Experts :** Professionally qualified practicing consultants in the field are deployed to design different functions in compliance to applicable norms and guidelines. These functions are a) Architecture b) Structure c) Plumbing d) Landscape e) Fire Fighting and e) Power & Electrical. Design parameters set by such experts and applicability of their drawings and decisions are treated as final.
12. Brick work, plaster and application of putty/POP over plastered surface are manual activities. Hence, despite all quality process in the job, undulation, out in plumb to certain extent cannot be avoided completely.
13. While every reasonable care has been taken in preparing this brochure, the Developer and the Marketing Agents cannot be held responsible for any inaccuracies or omissions. Visual representations, models, show unit displays and illustrations, photographs, art renderings and other graphic representations and references are intended to portray only artist's impressions of the development and cannot be regarded as representations of the fact. Floor areas are approximate measurements and are Subject to final survey.
14. All information, specifications, renderings, visual representations and plans are correct at the time of publication and are subject to changes as may be required by us and/or the competent authorities and shall not form part of any offer or contract nor constitute any warranty by us and shall not be regarded as statements or representation of fact. All facts are subject to amendments as directed and/or approved by the building authorities. All areas are approximate measurements only and subject to final survey. The Agreement to sell shall form the entire agreement between us as the Developer and the Purchaser and shall supersede all statements, representations or promises made Prior to the signing of the Agreement to sell and shall in no way be modified by any statements, representations or promises made by us or the Marketing Agents.

ROYAL ARCADE

Sales & Site Office

Royal Lagoon
Raghunathpur
Main Nandankanan Road, Bhubaneswar

M: 9692 100 100

E: sales@royalarcade.co.in

W: www.royalarcade.co.in

SJ Developers, Bhubaneswar Office
"SG Complex" Plot No. 516/1618, Sub Plot No. 13 & 14 Adarsh Vihar
(on Main Road, Close to Big Bazaar) Patia, Bhubaneswar-751024
Tel: 0674-2726075, 2725875 | Email: info@sjdevelopers.com

Registered Office:
SJ Developers & Housing Pvt. Ltd.
B/6, Miknik Mall, 103, Nayapalli
(Near Iskcon Temple) Bhubaneswar-751012
www.sjdevelopers.com | Cin: U70101or2003ptc007138

RERA Registration No : CP/19/2017/00008

Ashiana, New Delhi Office
3H, Plaza M6, Distt. Centre Jasola, New Delhi-110 025
Tel: 011-40564056 Fax: 011-40564040
Email: contact@ashianahomes.com

Registered Office:
Ashiana Homes Private Limited
5F, Everest, 46/C Chowringhee Road, Kolkata-700071
www.ashianahomes.com | Cin: U70101wb1987ptc096547



PROJECT BY



Disclaimer : The information and contents provided herein are subject to change within the provisions of Real Estate (Regulation & Development) Act 2016 and other Acts, Rules and norms of the state government. The external infrastructure facilities such as road outside the Project Land, Electricity Supply, Drinking Water, Trunk Storm Water Drainage is not in the developer's scope of development. These are to be developed by various government agencies/ departments. If there is any delay or inconvenience due to non availability of external infrastructure, the developer shall not be responsible for the same. Please refer to the specifications and amenities statement in the Prospectus/ Brochure/ Application Form/ Commercial Unit Agreement for Sale for details before investing. The Computer generated rendering/ images of apartments, buildings, amenities are as per architectural design and intent. However, there can be variation in colour and texture of the actual material used. Please read and pursue the terms and conditions of the Application Form, Draft Commercial Unit Agreement for Sale, Building Sanction Plans, All approvals before tendering your booking.